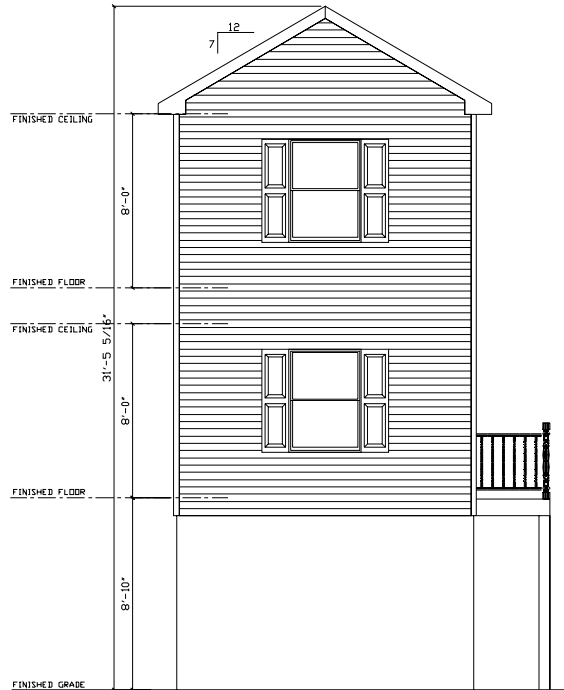


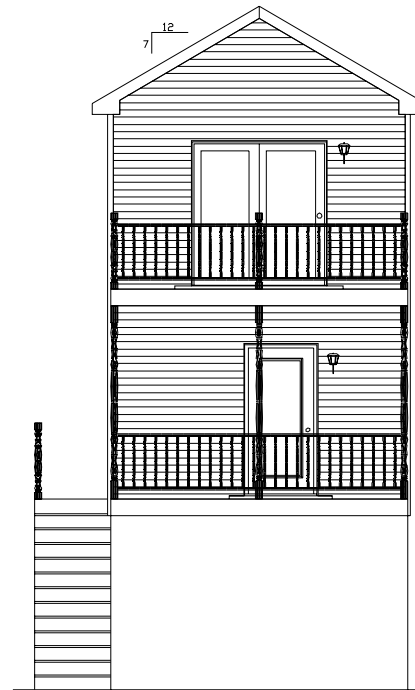
QN-15815/NJ

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.



PORCH SLAB, STAIRS, RAILING, AND POSTS ON-SITE BY OTHERS

FRONT ELEVATION



PORCH SLAB, STAIRS, RAILING, AND POSTS ON-SITE BY OTHERS

REAR ELEVATION

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

COMPLETE CONSTRUCTION AND REMODELING / MOSES

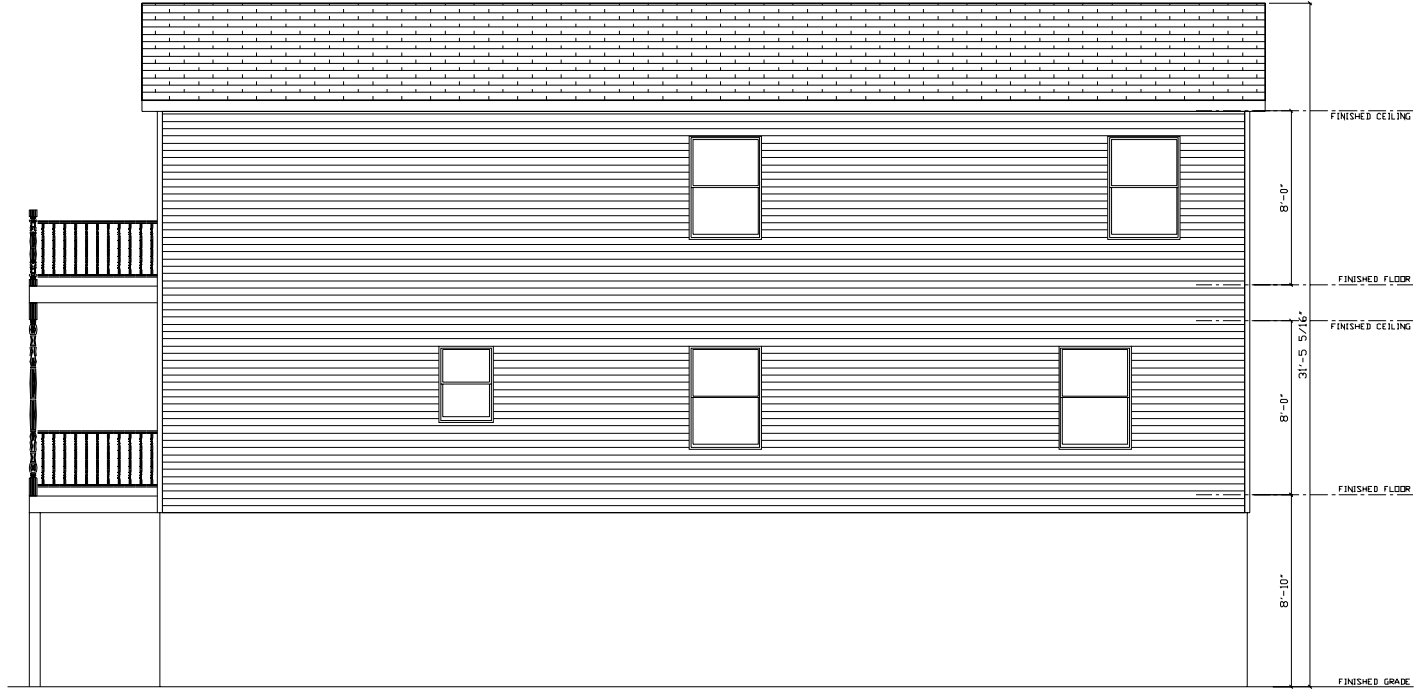
STAGE	DATE	DRAWN BY	SBIS/SHIC DESIGN CATEGORY:	1450 TWO STORY FRONT ELEVATION	FILE NO:
PRELIM.	6/4/14	KND	B		A15815(65)
REV. PRELIM.					
REV. FINAL.					
REV. FINAL.					
PURCHASING			WIND LOAD:	37 PSF	LAYER: FRONT
PRODUCTION			SNOW ZONE:	119 MPH (3 SEC)	
				20 PSF	
				1/8"=1'-0"	

THE PEAK OF PERFECTION  
**APEX HOMES, INC.**  
 7172 ROUTE 622  
 MIDDLEBORO, MA 01749  
 PHONE: (508) 837-8333



QN-15815/NJ

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.



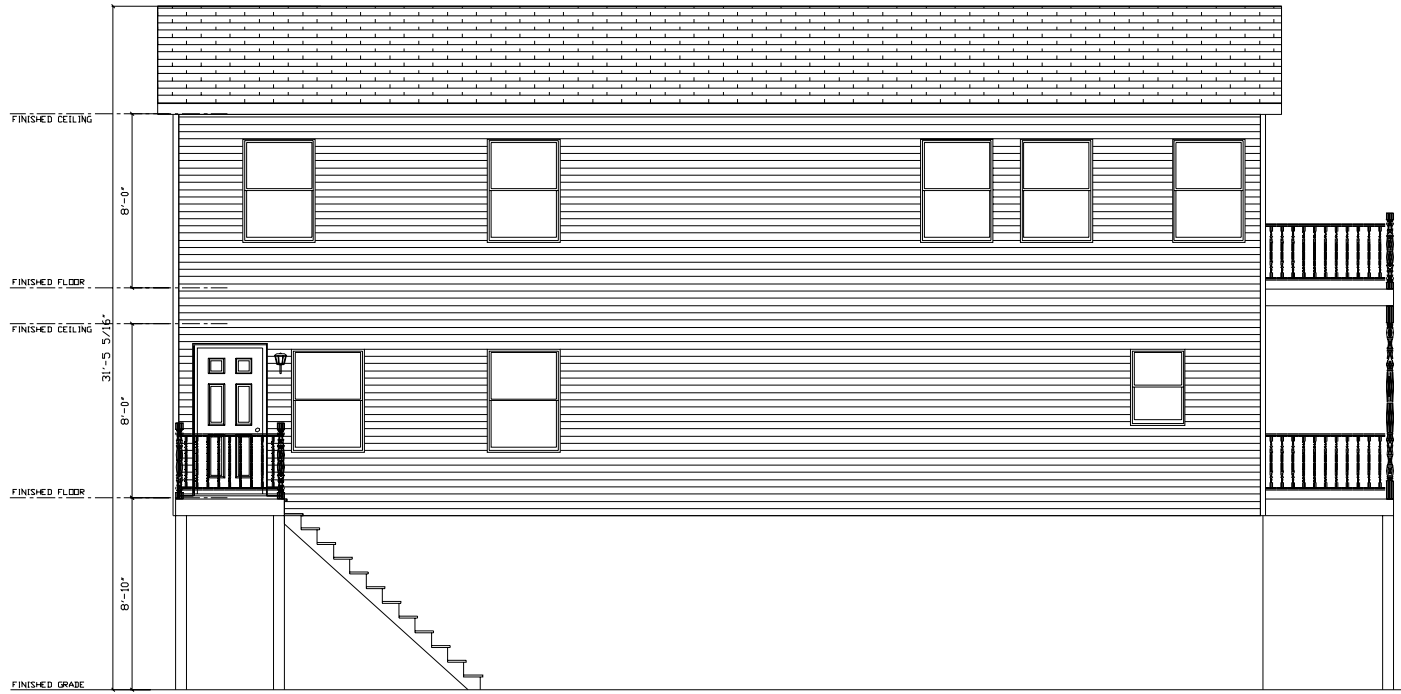
PORCH SLAB,  
RAILING, AND POSTS  
ON-SITE BY OTHERS

<b>STAGE</b> PRELIM. REV. PRELIM. REV. PRELIM. FINAL. REV. FINAL. PURCHASING PRODUCTION		<b>DATE</b> 6/4/14	<b>DRAWN BY</b> KND	COMPLETE CONSTRUCTION AND REMODELING / MOSES					
				BUILDING LOCATION: 271 HANCOCK ST. SEASIDE HEIGHTS, NJ OCEAN COUNTY	SBIS/SMC CATEGORY: B	1450 TWO STORY LEFT SIDE ELEVATION			
THE PEAK OF <b>APEX</b> <b>HOMES, INC.</b>				SNOW ZONE: 20 PSF	WIND ZONE: 119 MPH (3 SEC)	WIND LOAD: 37 PSF	SCALE: 1/8"=1'-0"	LAYER: LEFT	FILE NO: A15815(65)
7172 ROUTE 622 HAZELBURGH, PA 17802 PHOENIX: (610) 837-8333									

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

QN-15815/NJ

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.



PORCH SLAB, STAIRS, RAILING, AND POSTS ON-SITE BY OTHERS

NOTE: ACTUAL HOUSE MAY VARY FROM ELEVATION

COMPLETE CONSTRUCTION AND REMODELING / MOSES

STAGE	DATE	DRAWN BY	SBIS/STC DESIGN CATEGORY:	FILE NO:
PRELIM.	6/4/14	KND	B	A15815(65)
REV. PRELIM.				
REV. FINAL.				
REV. FINAL.				
REV. FINAL.				
PURCHASING			WIND LOAD: 37 PSF	LAYER: RIGHT
PRODUCTION			SNOW ZONE: 20 PSF	WIND ZONE: 119 MPH (3 SEC)

BUILDING LOCATION:  
271 HANCOCK ST.  
SEASIDE HEIGHTS, NJ  
OCEAN COUNTY

1450 TWO STORY  
RIGHT SIDE ELEVATION

THE PEAK OF  
PERFECTION  
**APEX**  
HOMES, INC.  
1172 ROUTE 622  
MIDDLEBORO, MA 01762  
PHONE: (508) 837-8333



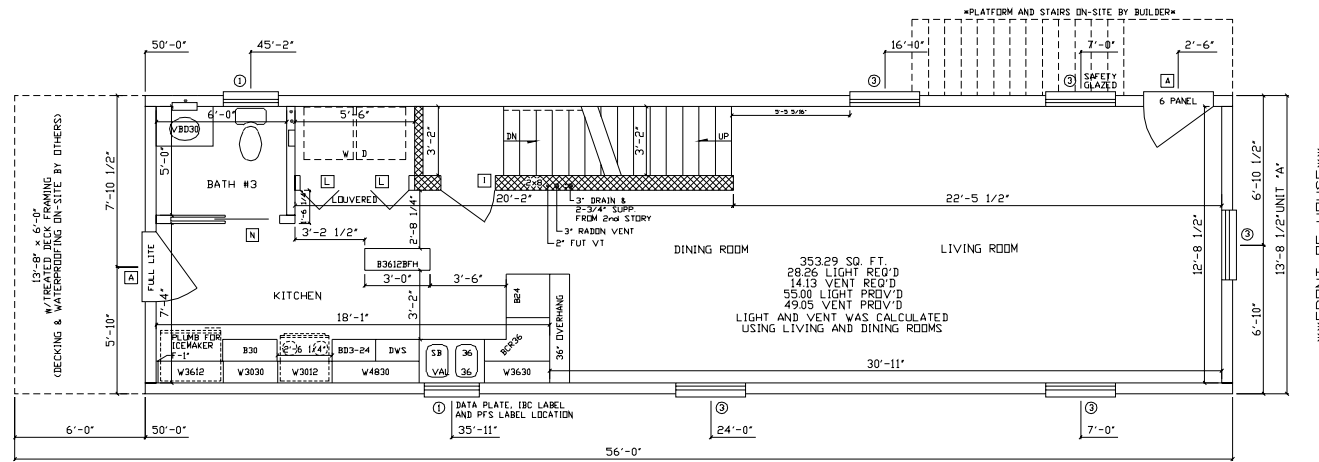
NEW JERSEY CODES  
 2009 INTERNATIONAL RESIDENTIAL CODE w/ NJ AMENDMENTS  
 2009 NAMPCC NATIONAL STANDARD PLUMBING CODE w/ NJ AMENDMENTS  
 2009 INTERNATIONAL ENERGY CONSERVATION CODE w/ NJ AMENDMENTS  
 2011 NATIONAL ELECTRICAL CODE w/ NJ AMENDMENTS  
 ALL EXT. LOAD BEARING HDR'S WITH SPAN OF 4'-0" OR LESS WILL BE (2) 2x6 SPF #2 ALL OTHERS WILL BE SPECIFIED. ALL REQUIRED JACK STUDS SHOWN ARE 2x6 SPF #2 ( SECT. 06, PG. 98 )

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.

USE GROUP R-6  
 CONSTRUCTION TYPE VB  
 AREA 1367 SQ. FT.  
 PLANS DERIVED FROM APPROVED CRITERIA FOUNDATION PLANS MUST BE APPROVED BY A N.J. P.E. OR R.A.

\* NOTE  
 SEE BRACED / SHEAR WALL AND FOUNDATION PLAN PAGES FOR HIGH WIND DETAILS AND REQUIREMENTS.

\* IMPORTANT NOTE :  
 ALL BATHROOMS TO HAVE ON-SITE FLOORING PROVIDED BY BUILDER, THEREFORE IT IS THE BUILDERS RESPONSIBILITY TO IDENTIFY ANY REQUIREMENTS TO APEX HOMES FOR RAISING DOORS, CABINETS, ETC. PRIOR TO CONSTRUCTION.



\* NOTE  
 ALL WINDOWS WITH OPENINGS WHICH OPEN 4 INCHES OR GREATER, ARE 72 INCHES ABOVE THE FINISHED GRADE OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR OPENING IS LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR. WILL REQUIRE WINDOW GUARDS PER 2009 IRC SECTIONS R612.2 THRU R612.4. THE WINDOW GUARDS WILL BE PROVIDED AND INSTALLED ON-SITE BY OTHERS.

\* NOTE  
 DRYER VENT DUCT SHALL TERMINATE ON AN OUTSIDE WALL OF A BUILDING NOT LESS THAN 3'-0" IN ANY DIRECTION FROM ANY OPENING INTO THE BUILDING AND MUST BE EQUIPPED WITH A BACKDRAFT DAMPER.

R-19 INSULATION INSTALLED IN BASEMENT WALLS  
 R-19 INSULATION INSTALLED IN UNDERSIDE OF STAIRS

\*\*FRONT OF HOUSE\*\*

COMPLETE CONSTRUCTION AND REMODELING / MOSES		1450 TWO STORY 1ST STORY FLOOR PLAN		FILE NO: A15815(65)
BUILDING LOCATION: 271 HANCOCK ST. SEASIDE HEIGHTS, NJ OCEAN COUNTY	DESIGN CATEGORY: B	SCALE: 1/8"=1'-0"	LAYER: SH1/FP1	
SNOW ZONE: 20 PSF	WIND ZONE: 119 MPH (3 SEC)	WIND LOAD: 37 PSF		
STAGE	DATE	DRAWN BY		
PRELIM.	6/4/14	KND		
REV. PRELIM.				
FINAL				
REV. FINAL				
PURCHASING				
PRODUCTION				
 THE PEAK OF PERFECTION 7172 ROUTE 922 MIDDLEBORO, MA 01749 Phone: (508) 837-8888				

- NOTES:
- BUILDER IS RESPONSIBLE FOR PROVIDING A PROPERLY SIZED HEATING SYSTEM TO COVER A 43,000 BTU LOSS
  - HEAT LOSS WAS CALCULATED WITH R-19 FLOOR INSULATION
  - MW CLASSIC WINDOWS BY PLYGEM
  - 1ST FLOOR SQUARE FOOTAGE = 683 SQ/FT

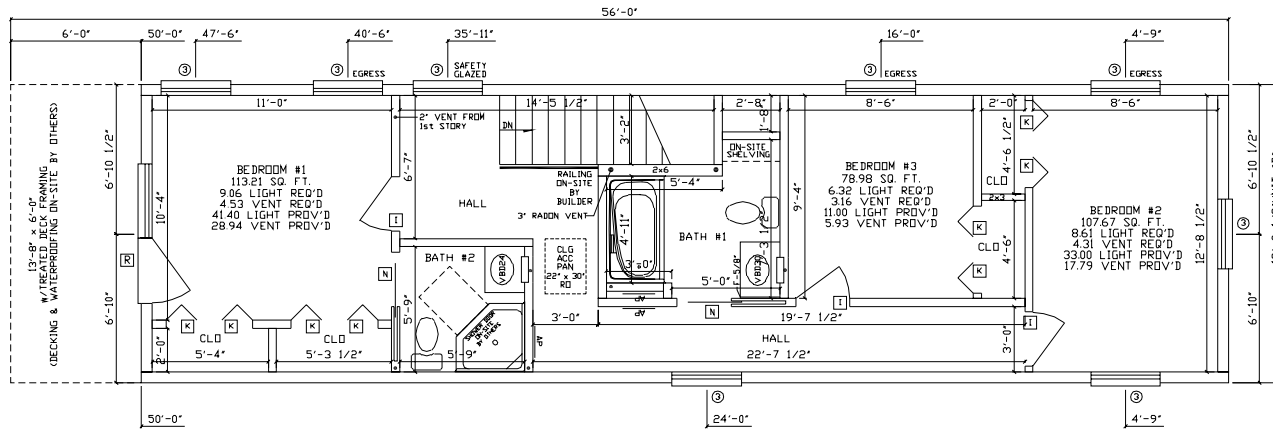
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QN-15815/NJ

\* NOTE  
SEE BRACED / SHEAR WALL AND  
FOUNDATION PLAN PAGES FOR HIGH  
WIND DETAILS AND REQUIREMENTS.

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED  
BUILDING SYSTEMS FILED WITH THE STATE.

ALL EXT. LOAD BEARING HOR'S: WITH SPAN OF 5'-3" OR  
LESS WILL BE (3) 2x6 SPF #2 ALL OTHERS WILL  
BE SPECIFIED. ALL REQUIRED JACK STUDS  
SHOWN ARE 2x6 SPF #2.  
( SECT. 06, PG. 9.1 )



\* NOTE  
ALL WINDOWS WITH OPENINGS WHICH OPEN 4 INCHES  
OR GREATER, ARE 72 INCHES ABOVE THE FINISHED GRADE  
OR SURFACE BELOW AND THE LOWEST PART OF THE CLEAR  
OPENING IS LESS THAN 24 INCHES ABOVE THE FINISHED  
FLOOR. WILL REQUIRE WINDOW GUARDS PER 2009 IRC  
SECTIONS R602.2 THRU R602.4. THE WINDOW GUARDS WILL  
BE PROVIDED AND INSTALLED ON-SITE BY OTHERS.

\* NOTE  
GASKET OR WEATHERSTRIPPING AND  
INSULATION, EQUIVALENT TO THE INSULATION  
ON THE SURROUNDING SURFACES, IS TO BE  
INSTALLED UPON COMPLETION OF THE SET-UP  
OF THE HOME AT CEILING ACCESS PANELS AND  
1/2" DR. FULL DOWN STAIRS ON SITE BY OTHERS.

\* NOTE  
TUB / SHOWER CONTROL VALVES  
TO HAVE A HIGH STOP LIMIT SET  
TO LIMIT WATER TEMPERATURE TO A  
MAXIMUM OF 120° F (49°C).

NOTES:

1. 7/12 NON STORAGE RAFTER ROOF SYSTEM @ 16" O.C.
2. MW CLASSIC WINDOWS BY PLYGEM - DP50 RATED
3. 2ND STORY SQUARE FOOTAGE: 1683 SQ. FT.
- 4.
- 5.

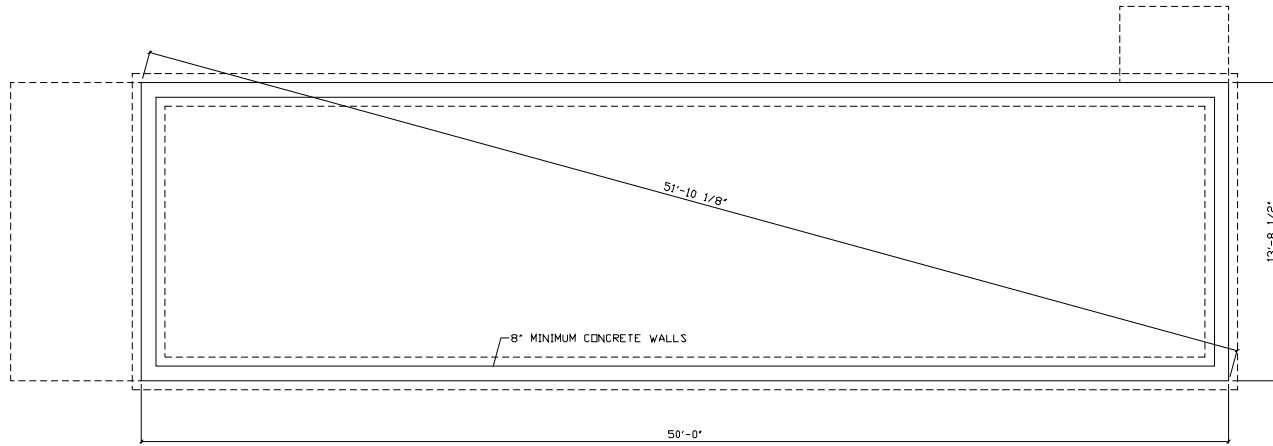
- 6.
- 7.
- 8.
- 9.
- 10.

COMPLETE CONSTRUCTION AND REMODELING / MOSES	
BUILDING LOCATION: 271 HANCOCK ST. SEASIDE HEIGHTS, NJ OCEAN COUNTY	1450 TWO STORY 2ND STORY FLOOR PLAN
DESIGN CATEGORY: B	SCALE: 1/8"=1'-0" LAYER: SHE2/FP2
WIND LOAD: 37 PSF	FILE NO: A15815(65)
SNOW ZONE: 20 PSF	WIND ZONE: 119 MPH (3 SEC)
STAGE PRELIM. REV. PRELIM. FINAL REV. FINAL PURCHASING PRODUCTION	DRAWN BY KND
DATE 6/4/14	
THE PEAK OF PERFECTION 7172 ROUTE 622 MIDDLEBORO, MA 01762 Phone: (508) 837-8333	



QN-15815/NJ

THESE PLANS HAVE BEEN EXTRACTED FROM APPROVED BUILDING SYSTEMS FILED WITH THE STATE.



COMPLETE CONSTRUCTION AND REMODELING / MOSES	
BUILDING LOCATION: 271 HANCOCK ST. SEASIDE HEIGHTS, NJ OCEAN COUNTY	1450 TWO STORY FOUNDATION PLAN
DISTRICT CATEGORY: B	SCALE: 1/8"=1'-0"
SNOW ZONE: 20 PSF	WIND ZONE: 119 MPH (3 SEC)
WIND LOAD: 37 PSF	LAYER: FOUNDATION
FILE NO: A15815(65)	

THIS DRAWING IS THE PEAK OF PERFECTION

**APEX HOMES, INC.**

7172 ROUTE 622  
 HADDONFIELD, NJ 07033  
 PH: (609) 637-2333



FOUNDATION DRAWINGS ARE TO BE USED AS A GUIDE ONLY. APEX HOMES WILL NOT ACCEPT ANY LIABILITY OR RESPONSIBILITY FOR INCORRECT FOUNDATIONS.

- NOTES:
- FOR ADDITIONAL INFORMATION SEE TYPICAL FOUNDATION DRAWING A15.16 OF THIS SET
  - PERIMETER RAIL ATTACHED TO SILL WITH 16d NAILS AT 6" O.C.
  - PIER FOOTINGS BASED UPON 2000 PSF ALLOWABLE SOIL BEARING PRESSURE
  - CONCRETE COMPRESSIVE STRENGTH: 2500 PSI
  - M OR S TYPE MORTAR TO BE USED

- MAX ANCHOR BOLT SPACING: 6'-0" O.C. (4'-0" O.C. MAX IN AREAS WHERE WIND VELOCITY IS @ OR EXCEEDS 100 MPH)
- WINDOWS OR VENTS (INSTALLED BY OTHERS) ARE REQUIRED TO PROVIDE 1/150 OF FLOOR AREA AS FREE VENTILATION AND SHALL BE LOCATED AS CLOSE TO CORNERS AS POSSIBLE
- NOTES ON THIS PAGE TAKE PRECEDENCE OVER NOTES ON TYPICAL FOUNDATION DWG. A15/A16